



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

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CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

March 14, 2012
Agenda Item 2

SUBJECT: Brown Addition - (PA2012-006)
1706 Miramar Drive
▪ Modification Permit No. MD2012-002

APPLICANT: John and Kathleen Brown

PLANNER: Melinda Whelan, Assistant Planner
(949) 644-3221, mwhelan@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1 (Single-Unit Residential)
- **General Plan:** RS-D (Single-Unit Residential Detached)

PROJECT SUMMARY

A Modification Permit to allow a 50% addition (954 square feet) to an existing 1,910 square-foot, nonconforming single-family dwelling. The Zoning Code limits the addition to 10% of the existing floor area of the structure because the dimensions of the existing two-car garage (19 feet 4 inches by 22 feet 10 inches) are less than the minimum required by Code (20 feet by 20 feet).

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. MD2012-002 No. (Attachment No. ZA 1).

DISCUSSION

- The existing two-story single-unit dwelling is nonconforming as the garage encroaches one-foot into the required four-foot southerly side setback and the interior width dimension of the garage (19 feet, 4 inches) is less than the minimum required by the Zoning Code (20 feet).
- The encroachment is a result of a lot line adjustment which increased the width of the lot to greater than 40 which, requires a 4-foot side setback instead of a 3-foot

side setback. Also, due to the greater lot width the Zoning code requirement for interior garage dimensions increases from 18-feet, 6-inches by 19-feet to 20-feet by 20-feet.

- The proposed 50% addition (954 square feet) would be permitted by the nonconforming section of the Zoning Code if the garage was not shy the 8 inches to meet the minimum width of 20 feet.
- The nonconforming status will not be expanded and the proposed addition would maintain all required setbacks and be in compliance with all Zoning Code development standards.
- Although the interior garage dimension does not meet the width requirement of 20-feet, the garage is sufficient to provide parking for two cars.

ENVIRONMENTAL REVIEW

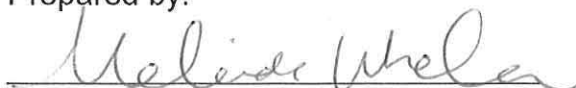
The project qualifies for Class 1 (Existing Facilities) categorical exemption, Section 15301 of the California Environmental Quality Act because Class 1 provides for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet; and the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive.

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to property owners within 300 feet (excluding intervening rights-of-way and waterways) of the property and posted at the site a minimum of 10 days in advance of this hearing consistent with the Municipal Code. Additionally, the item appeared upon the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Prepared by:


Melinda Whelan, Assistant Planner

GR/msw

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. #####

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2012-002 FOR A 50% ADDITION TO AN EXISTING 1,910 SQUARE-FOOT, NONCONFORMING SINGLE-FAMILY DWELLING LOCATED AT 1706 MIRAMAR DRIVE (2012-006)

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by John and Kathleen Brown, with respect to property located at 1706 Miramar Drive, and legally described as PCL 1 , Block K , LLA 2009-004 requesting approval of a Modification Permit.
2. The applicant proposes a 50% addition (954 square feet) to an existing 1,910 square-foot, nonconforming single-family dwelling. The Zoning Code limits the addition to 10% of the existing floor area of the structure because the dimensions of the existing two-car garage (19 feet 4 inches by 22 feet 10 inches) are less than the minimum required by Code (20 feet by 20 feet).
3. The subject property is located within the Single-Unit Residential (R-1) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
4. The subject property is located within the coastal zone in the categorical exclusion zone. The Coastal Land Use Plan category is Single Unit Residential Detached - (10.0 - 19.9 DU/AC) (RSD-C).
5. A public hearing was held on March 14, 2012, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).
2. Class 1 provides for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet; and the project is in an area where all public services and facilities are available to allow for

maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050 E. (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the finding for a Modification Permit are set forth:

Finding:

A. The requested modification will be compatible with existing development in the neighborhood.

Facts in Support of Finding:

1. The existing two-story single-unit dwelling is nonconforming as the residence encroaches one foot into the required four-foot westerly side setback, the garage encroaches 8 inches into the four-foot westerly side setback and the interior width dimension of the garage (19 feet, 4 inches) is less than the minimum required by the Zoning Code (20 feet).
2. The deviation from the Zoning Code requested through this application is compatible with the characteristics of the surrounding properties. There are lots in the area with required 3-foot setbacks, and properties developed with similar nonconforming structures in regards to substandard parking space dimensions. Many of the dwelling units in this area were constructed at a time when the Zoning Code did not specify dimension requirements for garages or at a time when the required minimum dimensions of parking space were similar or the same as the subject garage.
3. The applicant is proposing a 50-percent addition to the existing structure. The proposed addition will comply with all of the development standards, including floor area, height, and setbacks, and will not intensify or alter the existing nonconformities. The resulting structure will be 2,864 square feet and similar in character and size to developments located in the neighborhood.

Finding:

B. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.

Facts in Support of Finding:

1. The granting of the modification is necessary due to the unique characteristics of the structure in that the substandard width dimension of the garage necessitates the

approval of a modification permit pursuant to 20.38.050 A.2 (Nonconforming Parking) to allow an addition greater than 10 percent of the existing floor area of the structure.

2. Zoning Code regulations allow additions up to 50-percent of the gross floor area of an existing structure within any 10 year period for structures with nonconforming setbacks. Therefore, if the setback encroachments were the only nonconforming element of the existing structure, the proposed project would not require approval of a modification permit and would be allowed by right.
3. Given the design of the existing structure, bringing the garage into conformance is infeasible without significantly expanding the scope of the project.
4. The Zoning Code specifies minimum interior dimensions for parking space, which vary by lot width. Although, the existing garage is nonconforming in regards to the minimum width dimension required for lots greater than 40 feet wide, it is consistent with the width requirements for garages on lots less than 40 feet wide and still provides two useable garage spaces. Thereby, the existing nonconforming garage meets the intent of the Zoning Code by providing adequate parking but is deficient as to meeting the minimum width requirement. Approval of the Modification Permit to allow the 50-percent addition is reasonable given the use of the structure.

Finding:

- C. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. The existing two-car garage at the subject property was in compliance with the Zoning Code at the time of original construction. However, as a result of amendments to the Zoning Code, the garage is now substandard in size in regards to width, but does not preclude the use of two parking spaces.

Finding:

- D. There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. The alternatives would require that the applicant bring the garage into conformance by expanding the scope of the project or requesting a Variance for a setback encroachment.

2. Approval of the Modification Permit allows the applicant to the continued use of a two-car garage even though the width of the garage does not meet Zoning Code requirements for lots greater than 40 feet wide.

Finding

E. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.

Fact in Support of Finding

1. Though the width of the two-car garage will be less the minimum required by the Zoning Code it will not be so deficient to preclude the use of two parking spaces.
2. The project will not increase the nonconforming status once complete and will comply with all other provisions of the R-1 Zoning District.
3. The existing nonconforming garage has not proven to be detrimental to the surrounding neighborhood.
4. The proposed gross square footage of the structure is less than the maximum square footage allowed by the Zoning Code and is consistent with the surrounding neighborhood as well as similar land uses throughout the City.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves PA2012-006 for MD2012-002, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 14th DAY OF MARCH, 2012.

BY: _____
Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

Planning Division Conditions

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

Building Division Conditions

3. The project is subject to liquefaction and a geotechnical study with foundation recommendations is required prior to the submittal of building permits.

Public Works Conditions

4. All improvements shall be constructed as required by Ordinance and the Public Works Department.
5. Per City Council Policy L-18, Section B, "Non-permeable parkway surfacing within the area between the street curb and sidewalk for decorative (non-pedestrian purposes), installed at grade, not to exceed 25% of the parkway area (back of curb and sidewalk)..." Therefore, 75% of the existing private, non-standard improvements within the public right-of-way and/or extensions of private, non-standard improvements into the public right-of-way fronting the development site shall be removed and replaced with ground covering or lawn. Any portion of the brick pavers to remain shall be reconstructed, if damaged, and will require the property owner to enter into an encroachment agreement.
6. The following items will require an Encroachment Agreement if they are to remain:
 - a.) Existing white picket fence along the entire Miramar Drive frontage, as it encroaches one foot into the Miramar Drive public right-of-way. Maximum height of encroachment shall be 36 inches. Any encroachments exceeding 36 inches in height shall be removed (ie. the existing trellis).
 - b.) Brick pavers which encroach past the property line and into the alley.

Reconstruct the existing broken and/or otherwise damaged sidewalk, concrete curb and gutter along the Miramar Drive frontage.

7. Reconstruct the existing broken and/or otherwise damaged alley pavement.
8. All above ground improvements shall stay clear of the alley setback.
9. An encroachment permit is required for all work activities within the public right-of-way.
10. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
11. All on-site drainage shall comply with the latest City Water Quality requirements.
12. The two existing street trees along the Miramar Drive frontage shall be protected in place. Unauthorized tree removal(s) will trigger substantial penalties for all of the parties involved.
13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Brown Addition including, but not limited to, the PA2012-006 for MD2012-002. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Modification Permit No. MD2012-002
PA2012-006

1706 Miramar Drive

Attachment No. ZA 3

Project Plans

jim mccann
residential design

333 N Marwood Avenue, Fullerton, Ca. 92832

Telephone (714) 870-0481

DRAWN
J.D.
CHECKED
J.M.
DATE
11/2/11
SCALE
AS NOTED
JOB NO.
BROWN
SHEET
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jim mccann
residential design

333 N Marwood Avenue, Fullerton, Ca. 92832

Telephone (714) 870-0481

NEW SECOND FLOOR PLAN

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ELECTRICAL SYMBOL LEGEND	
<p>ELECTRICAL FIXTURES SHOWN ARE NEW UNLESS NOTED OTHERWISE. EXISTING ELECTRICAL FIXTURES AT EXISTING AREAS TO REMAIN UNLESS INSTRUCTED OTHERWISE BY OWNER.</p> <p>⊙ DUPLEX OUTLET</p> <p>⊙ DUPLEX OUTLET - 1/2 HOT</p> <p>⊙ DUPLEX OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER</p> <p>⊙ DUPLEX OUTLET W/ ARC-FAULT CIRCUIT INTERRUPTER</p> <p>⊙ DUPLEX OUTLET</p> <p>⊙ 220V OUTLET</p> <p>⊙ WALL MOUNTED SINGLE SWITCH</p> <p>⊙ WALL MOUNTED THREE-WAY SWITCH</p> <p>⊙ WALL MOUNTED FOUR-WAY SWITCH</p> <p>⊙ FLOOD LIGHTS</p>	<p>⊙ RECESSED MOUNTED LIGHT FIXTURE</p> <p>⊙ RECESSED MOUNTED LIGHT FIXTURE</p> <p>⊙ RECESSED MOUNTED LIGHT FIXTURE</p> <p>⊙ RECESSED MOUNTED LIGHT FIXTURE</p> <p>⊙ SURFACE MOUNTED LIGHT FIXTURE</p> <p>⊙ WALL MOUNTED LIGHT FIXTURE</p> <p>⊙ NITROGEN OXYGENO EXHAUST FAN (50 CFM x 3.0 SONE MIN)</p> <p>⊙ SMOKE DETECTOR</p> <p>⊙ TELEPHONE/COAXIAL OUTLET</p> <p>⊙ COMPUTER CONNECTION OUTLET</p> <p>⊙ HARDWIRED JUNCTION BOX</p> <p>⊙ CARBON MONOXIDE ALARM</p>
<p>BATHROOM OUTLETS SHALL BE ON A SEPARATE CIRCUIT INTERRUPTED EXCEPT OUTLETS WITH G.F.I.</p> <p>ALL OUTLETS TO BE ARC-FAULT CIRCUIT-INTERRUPTED EXCEPT OUTLETS WITH G.F.I.</p>	
ELECTRICAL NOTES	
<p>ALL ELECTRICAL WIRING TO BE COPPER ALUMINUM WIRING NOT ALLOWED.</p> <p>FLUORESCENT LIGHT FIXTURES AT INSULATED CEILINGS TO BE ICF FIXTURES.</p> <p>OWNER TO SELECT ALL ELECTRICAL FIXTURES.</p> <p>RECEIVED ELECTRICAL OUTLETS, SWITCHES, AND LIGHTS ARE SHOWN ON PLAN. CONTRACTOR TO VERIFY IF ANY EXISTING ELECTRICAL CAN BE USED IN ANY OF THE RENOVATED ROOMS.</p>	
FLOOR PLAN WALL LEGEND	
<p>⊔ EXISTING 2x4 STUD WALL TO BE REMOVED</p> <p>⊔ EXISTING 2x4 STUD WALL</p> <p>⊔ NEW 2x4 STUD WALL</p>	
FLOOR PLAN NOTES	
<p>WRITTEN DIMENSIONS TO PREVAL OVER SCALE.</p> <p>VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.</p> <p>OWNER TO SELECT FLOOR COVERING.</p> <p>HEATING CONTRACTOR TO PROVIDE LAYOUT FOR HEAT DUCTS & REGISTER SIZES.</p> <p>CONTRACTOR TO VERIFY THAT THE SIZE OF EXISTING FAU WILL MEET THE CURRENT ENERGY AND CODE REQUIREMENTS.</p> <p>HARDWARE FOR DOORS, CABINETS, AND WINDOWS TO MATCH EXISTING HARDWARE OR BE COMPATIBLE AS JUDGED BY OWNER.</p> <p>ALL TEMPERED GLASS IDENTIFICATION MUST BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE.</p> <p>ALL DOOR AND WINDOW HOLDINGS AND BASEBOARDS TO MATCH EXISTING.</p> <p>ALL CABINET DESIGNS TO BE APPROVED BY OWNER.</p> <p>PROVIDE 22" x 30" ATTIC ACCESS OR MIN. 22" x 30" ACCESS FROM EXISTING ATTIC TO NEW ATTIC AREA TO MEET IBC REQUIREMENTS.</p> <p>ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY.</p> <p>ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.</p> <p>TWO LAYERS OF GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.</p> <p>WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIVISION. THE BOTTOM STRAP SHALL BE LOCATED A MINIMUM OF 4 ABOVE CONTROLS.</p> <p>IF THERE ARE OR CONDUIT VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1/4" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.</p>	

FLOOR PLAN KEY NOTES

- 2-DOOR KITCHEN SINK w/ GARBAGE DISPOSAL - PER OWNER'S SPECS
- SINK - PER OWNER'S SPECS
- DISHWASHER - PER OWNER'S SPECS
- 36" WIDE RANGE/OVEN WITH LIGHT, PAN, AND 36" DUCT TO OUTSIDE AIR - PER OWNER'S SPECS
- 48" CLEAR REFRIGERATOR SPACE. PROVIDE WATER CONNECTION FOR ICE MAKER
- BUILT-IN BASE CABINETS AND UPPER CABINETS - PER OWNER'S SPECS
- BUILT-IN PANTRY w/ ADJUSTABLE SHELVING - PER OWNER'S SPECS
- ENTIRE COUNTER w/ KNEE SPACE BELOW - PER OWNER'S SPECS
- 126 SQ.FT LOAN FLOIN WATER CLOSET - PROVIDE MIN. 15" MINIMUM CLEAR WIDTH EACH SIDE FROM CENTRINE OF WATER CLOSET AND 24" CLEAR SPACE IN FRONT OF TOILET
- CERAMIC TILE SHOWER WITH 45" HIGH CERAMIC TILE SEAT AND TILE MANSCOT TO 84" ABOVE FLOOR w/ SHATTERTHOOF ENCLOSURE
- 36"X60" OVAL TUB w/ MINHP.OOL, JETTS ON CERAMIC TILE WOOD FRAMED PLATFORM, PROVIDE 12"X12" MIN. TILE ACCESS - PER OWNER'S SPECS
- W/OUTE OVERDOOR EXHAUST FAN 0.3 SONES @ 50 CFM (50 CFM MIN. @ 3.0 SONES MAX)
- W/OUTE GEROISOR, RANGE HOOD EXHAUST FAN 10-140 CFM @ 15-20 SONES (100 CFM MIN. @ 3.0 SONES MAX)
- W/OUTE WHOLE BUILDING EXHAUST FAN 110 CFM @ 0.7 SONES (861 CFM MIN. @ 10 SONES MAX)
- LINEN STORAGE w/ ADJUSTABLE SHELVES - PER OWNER'S SPECS
- STACKED MASHED/POTTER SPACE - PROVIDE RECESSED PLUMBING DUCT TO OUTSIDE AIR w/ BACKDRAFT PAYER
- SHELF AND POLE AT CLOSET
- BUILT-IN CABINETS - PER OWNER'S SPECS
- CERAMIC GLASS - ALL TAPERED GLASS IDENTIFICATION MUST BE ETCHED OR TAPERED FIRED ON THE GLASS AND BE VISIBLE
- PROVIDE DEADBOLT AT TOP & BOTTOM OF INACTIVE DOOR
- LEVEL CONCRETE LANDING AT DOOR MIN. 36" DEEP x DOOR WIDTH MAX. 8" BELOW FLOOR LEVEL, INSIDE HOUSE. MAY UTILIZE EXISTING CONCRETE PAVING IF MEETS REQUIREMENTS
- 22' x 30' ATTIC ACCESS
- PROVIDE SELF CLOSING, TIGHT FITTING SOLID CORE DOOR - 1-3/8" THICK OR A 20 MIN. RATED DOOR
- GARAGE DOOR OPENER, OUTLET AND LIGHT FIXTURE
- SHOWER DETECTORS SHALL BE INSTALLED WITHIN SLEEPING AREAS AND ADJACENT HALLWAYS. THE DETECTORS SHALL SOUND AN ALARM ADAPBLE IN ALL SLEEPING AREAS. SHOWER DETECTORS SHALL BE HARD WIRED AND BE EQUIPPED WITH A BATTERY BACKUP (GRC 2010).
- CARBON MONOXIDE ALWAYS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP

SHOWER DETECTORS ARE REQUIRED TO BE INSTALLED IN THE FOLLOWING LOCATIONS:

- ON THE CEILING DIRECTLY ABOVE THE STAIRWAY WHERE SLEEPING ROOMS ARE ON AN UPPER LEVEL.
- IN EACH SLEEPING ROOM OF THE SECOND FLOOR.

IN NEW CONSTRUCTION SHOWER DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM AND BE EQUIPPED WITH A BATTERY BACK-UP. SHOWER DETECTORS FOR EXISTING MAY BE BATTERY OPERATED. (AS PER IBC 310).

RECEPTACLES IN BATHROOMS TO BE ON A SEPARATE 20 AMP CIRCUIT. THERE SHALL BE A RECEPTACLE ADAPTABLE TO THE BASIN.

RECESSED FIXTURES, ABOVE TUBS OR SHOWERS WITHIN 8' OF THE FLOOD LEVEL RIM ARE TO BE GFCI PROTECTED.

LIGHTING FIXTURES INSTALLED FOR GENERAL LIGHTING IN BATHROOMS SHALL NOT HAVE AN EFFICACY OF LESS THAN 40 LUMENS PER WATT. IF THERE IS ONLY ONE FIXTURE IN A ROOM, THE BATH FIXTURE SHALL BE RECESSED AS GENERAL LIGHTING AND IS SELECTED TO THE SYSTEMS. BATH FIXTURES SHALL BE RECESSED INSIDE BATHROOMS WITH WATER CLOSET AND LAVATORY.

RECEPTACLES PROVIDED FOR KITCHEN COUNTERTOP SURFACES SHALL BE SPACED 30" THAT NO POINT ON THE COUNTERTOP IS OVER 24" FROM A RECEPTACLE. ISOLATED COUNTERTOPS 12" OR GREATER IN WIDTH SHALL BE PROVIDED WITH A RECEPTACLE. RECEPTACLES SERVING COUNTERTOPS MAY BE 10' FEET OR MORE THAN 10' ABOVE THE COUNTERTOP. GENERAL LIGHT FIXTURES IN BATHROOMS SHALL BE FLOURESCENT LIGHT FIXTURES OR EALS.

ALL ENERGY RECEPTACLES SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER NEC ARTICLE 210-10(b).

BATHROOM NOTES

ALL SHOWER ENERGY LAVATORY FACETS AND SINK FACETS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

ANTI-SCALDING SHOWERS AND TUB SHOWERS VALVES REQUIRED.

GLASS IN TUB ENCLOSURE OR SHOWER MUST BE TAPERED SAFETY GLASS, WHERE BOTTOM OF EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. PANELS MUST BE 1/8" FULLY TEMPERED 1/4" LAMINATED OR OF AN APPROVED PLASTIC.

A 1/2" X 1/2" MINIMUM ACCESS PANEL TO BATHING TUB SLIP JOINT CONNECTION IS REQUIRED. SHOWER STALLS SHALL ACCOMMODATE A 30" CIRCLE AND HAVE A MINIMUM FLOOR AREA OF 1024 (32' X 32') SQUARE INCHES.

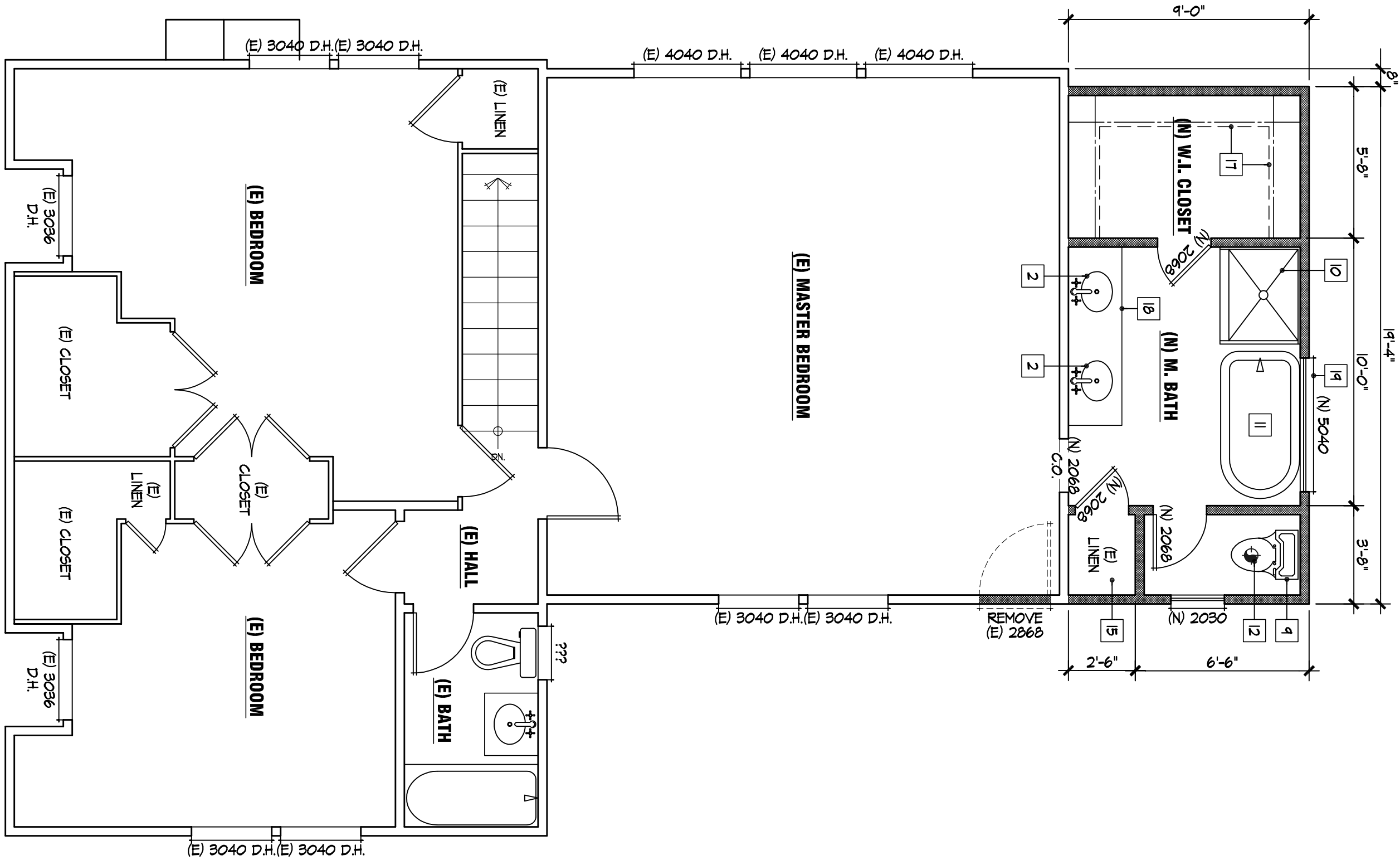
SHOWER DOORS TO MAINTAIN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS AND SHING OUTWARD.

WALL COVERINGS SHALL HAVE WATER-RESISTANT GYPSUM BACKING BOARD TO BE GEMENT PLASTER TILE OR AN APPROVED EQUAL. 1/2" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

GEOTEARED GYPSUM OR WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED AS BACKING FOR CEILING FINISH INSIDE SINKING STEAM BOWNS OR DANG SHOWER BOWNS. DUE TO CONDENSATION OR VAPOR. SEE 1/2" TYPE "X" GYPSUM BOARD. DRORCK OR MONOCORDED TREATED WITH GOOD LATEX PAINT. (GRC 2010). WATER RESISTANT GYPSUM BOARD 1/2" THICK MAY BE USED INSIDE BATHROOM CEILINGS (6" TILL NOT ALLOWED IN SHOWER/NGS SHOWER ROOMS WHERE FRAMING SPACING IS 12" OR LESS).

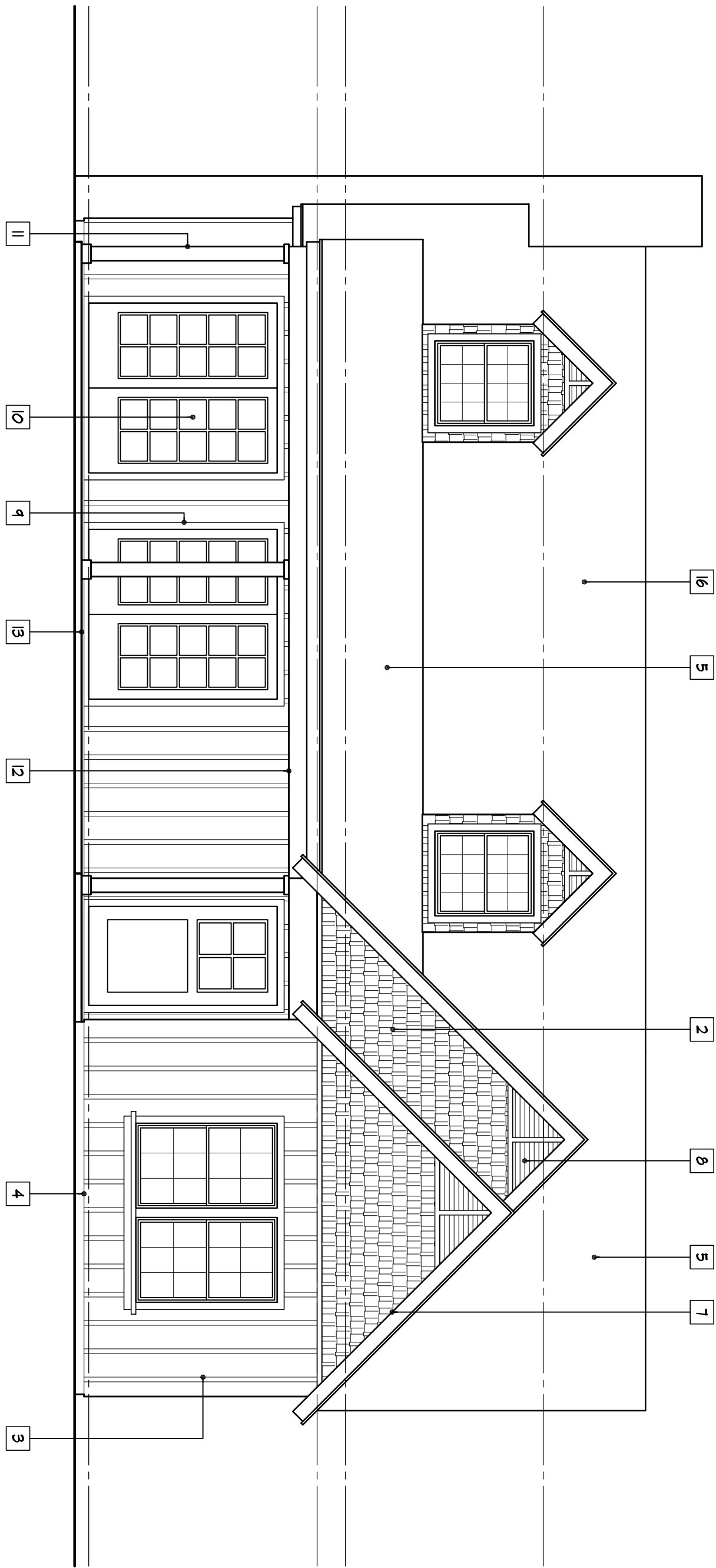
INSULATION NOTES

- PROVIDE R-19 BATT INSULATION AT ALL NEW 2x4 EXTERIOR WALLS (TYPICAL)
- PROVIDE R-14 BATT INSULATION AT ALL NEW WOOD FRAMED RAISED FLOORS (TYPICAL)
- PROVIDE R-30 BATT INSULATION AT ALL NEW FLAT CEILING AREAS (TYPICAL)
- PROVIDE R-30 BATT INSULATION AT ALL NEW VAULTED CEILING AREAS (TYPICAL)



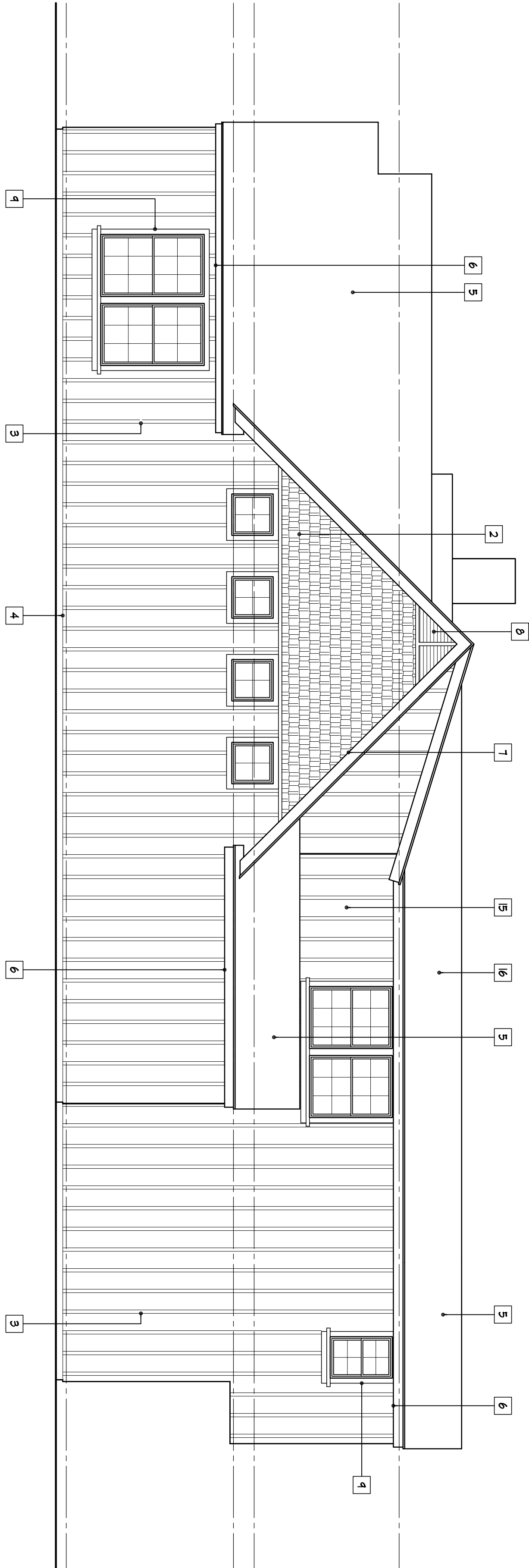
NEW SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTES

- 1 STUCCO - SEE STUCCO NOTE
- 2 SHINGLE SIDING
- 3 VERTICAL SIDING
- 4 6:1 STUCCO SCREED
- 5 NEW ROOFING - SEE ROOF PLAN
- 6 2x FASCIA BOARD
- 7 2x BARGE BOARD
- 8 GABLE END ATTIC VENT w/ 6:1 SCREEN & 1x3 VERTICALS @ 5' O.C. - SEE ELEVATION FOR SIZE
- 9 2x TRIM AT WINDOWS & DOOR
- 10 TAPERED GLASS
- 11 6x6 POST w/ 2x2 TRIM O.V. 2x4 TRIM AT TOP & 2x6 TRIM O.V. 2x6 TRIM AT BOTTOM BEAM
- 12 CONCRETE PATIO
- 13 CONCRETE LANDING
- 14 EXISTING HOSE
- 15 EXISTING ROOF
- 16 TRACE OF EXISTING HOSE
- 17 TRACE OF EXISTING ROOF
- 18 TRACE OF EXISTING ROOF
- 19 TRACE OF EXISTING WINDOW TO BE REMOVED

REVISIONS

BY

Jim McCann
residential design

333 N Marwood Avenue, Fullerton, Ca. 92832

Telephone (714) 870-0481

Addition For:

Brown Residence

1706 Miramar
Newport Beach, CA
(714)

EXTERIOR ELEVATIONS

DRAWN

J.D.

CHECKED

J.M.

DATE

11/2/11

SCALE

AS NOTED

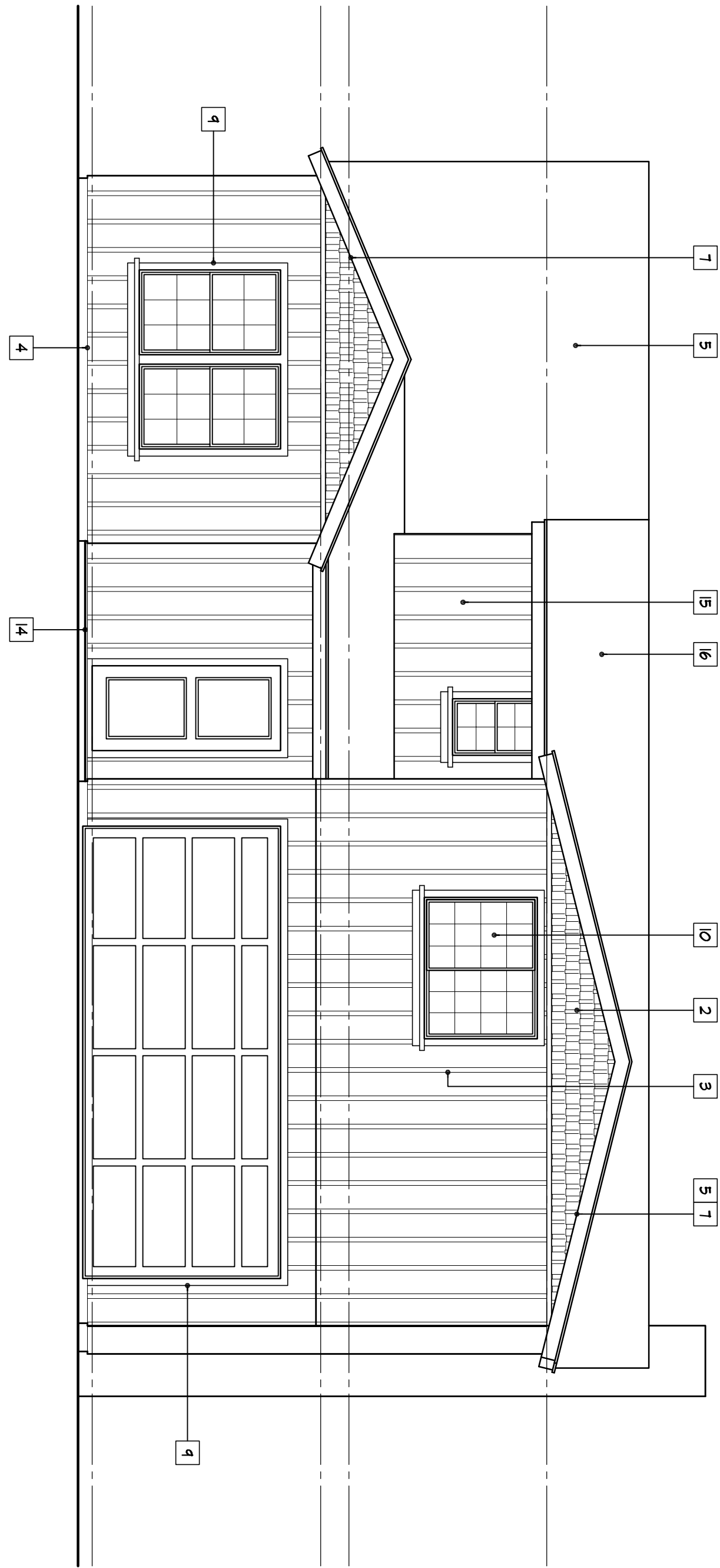
JOB NO.

BROWN

SHEET

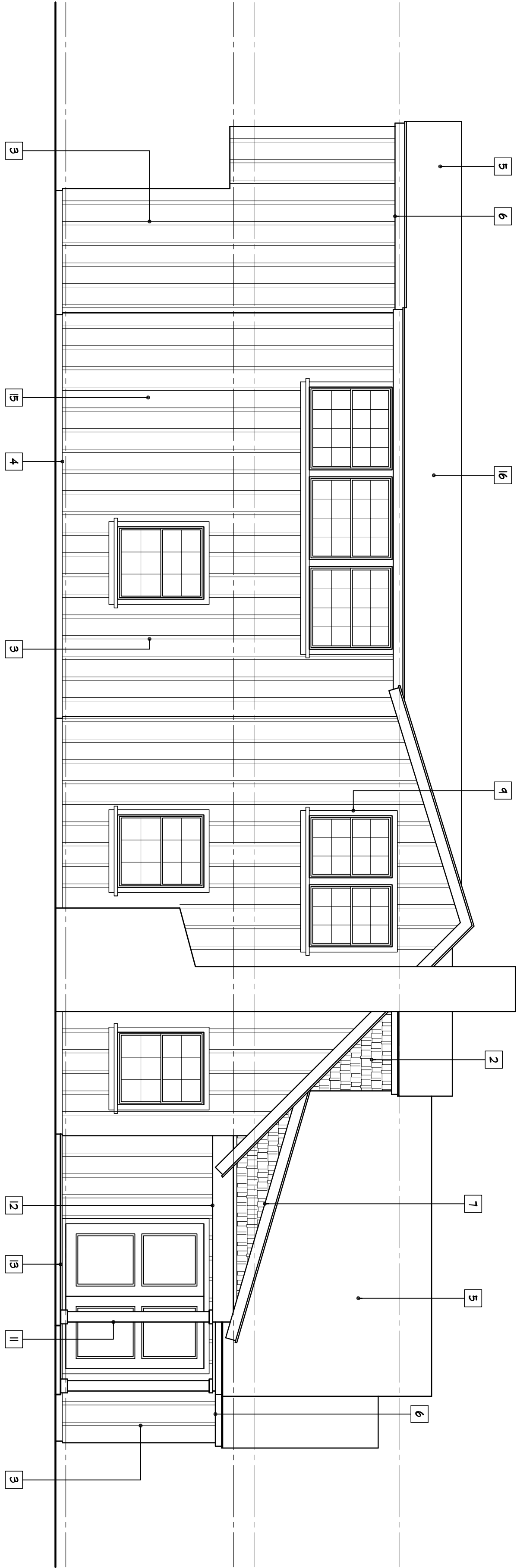
7

OF SHEETS



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTES

- 1 STUCCO - SEE STUCCO NOTE
- 2 SHINGLE SIDING
- 3 VERTICAL SIDING
- 4 6:1 STUCCO SCAFFOLD
- 5 NEW ROOFING - SEE ROOF PLAN
- 6 2x FASCIA BOARD
- 7 2x BARGE BOARD
- 8 GABLE END ATTIC VENT w/ 6:1 SCREEN & 1x3 VERTICALS @ 5' O.C. - SEE ELEVATION FOR SIZE
- 9 2x TRIM AT WINDOWS & DOOR
- 10 TEMPERED GLASS
- 11 6x6 POST w/ 2x2 TRIM ON, 2x4 TRIM AT TOP & 2x6 TRIM ON, 2x6 TRIM AT BOTTOM BEAM
- 12 CONCRETE PATIO
- 13 CONCRETE LANDING
- 14 EXISTING HOUSE
- 15 EXISTING ROOF
- 16 TRACE OF EXISTING HOUSE
- 17 TRACE OF EXISTING ROOF
- 18 TRACE OF EXISTING WINDOW TO BE REMOVED
- 19

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EXTERIOR ELEVATIONS

DRAWN

J.D.

CHECKED

J.M.

DATE

11/21/11

SCALE

AS NOTED

JOB NO.

BROWN

SHEET

3

OF SHEETS